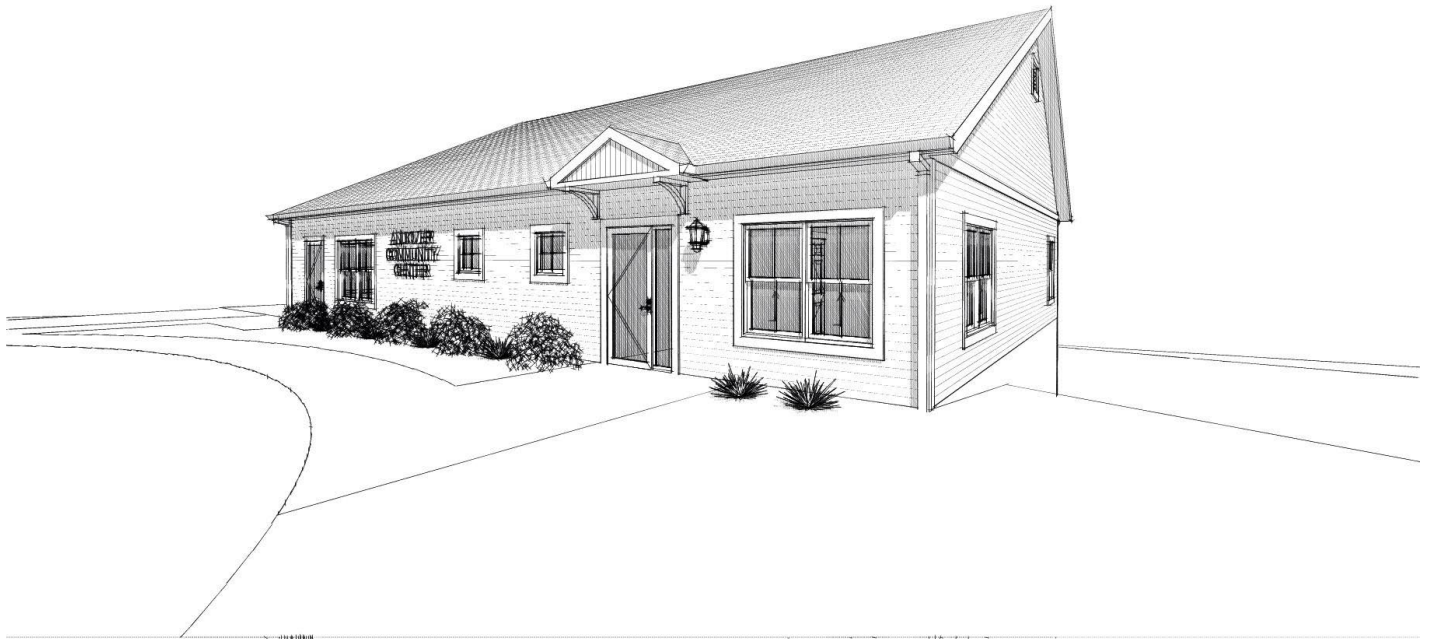




LEADINGEDGE
CONSTRUCTION

PEGARCH
ARCHITECTURE & DESIGN SERVICES



ANDOVER COMMUNITY CENTER

Design Build Proposal

Abstract

The team of Leading Edge Construction and PEGARCH are pleased to submit this proposal for the design and construction of a New Community Center for the Town of Andover, CT.

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Specifications are Included in Design Documents

Design/Build Proposal for a New Community Center

November 16, 2022

Letter of Interest

The Leading Edge /PegArch team is pleased to submit this proposal for the design and construction of a New Community Center for the Town of Andover, CT. We have reviewed and accept all terms and conditions contained in the RFP and are confident that our qualifications, proposed team, and experience will not only meet but exceed the requirements for this project. We understand the scope of work, design requirements, site conditions and project deliverables and are committed to delivering the best solution available for the citizens of Andover, CT.

At Leading Edge, our owners Serge and Todd Lessard have decades of experience building for the area's most successful companies. We leverage this experience to lower costs, provide industry leading best practices and execution and to perform with the highest level of integrity. Leading Edge Construction is the most recent addition to the Lessard Family portfolio. Our company will allow us to focus on the needs of our municipal, commercial, and industrial clients while sustaining the high level of performance that we are recognized for in the region.

Leading Edge uses both traditional methods and new construction techniques along with emerging technology to deliver the most responsive service and highest quality workmanship available at competitive pricing. Our leadership team closely collaborates with clients, design professionals and trades people to influence project results. We leverage technology to drive efficiency and quality. We are a family-owned business that approaches each project individually and with great care. Our reputation and integrity drive our performance. We assemble a team that is best suited to meet the needs of our clients and for this project, we have selected PegArch as our design partner for the New Community Center in Andover, CT.

PegArch Architecture was established in 2017 and brings architectural solutions to clientele throughout Connecticut. They utilize cutting edge BIM technologies that help all stakeholders understand the design and deliverable from concept through construction. PegArch provides clients with top-level design solutions for their projects. Their passion comes from helping those in need through design and seeing the project through completion. They take pride in the work that they do, finding solutions for difficult problems through design. PegArch has completed projects ranging from industrial revitalization, large scale residential projects, commercial buildings and tenant buildouts, breweries, restaurants, office spaces and lots of custom residential projects.

In summary, the Leading Edge/PegArch team is confident that we are well qualified and can effectively design and construct the New Community Center building for the Town of Andover, CT. Additionally, Serge P. Arel is not only a member of our leadership team, but also a town resident located near the project site, and he will provide an increased level of supervision for this project.

We appreciate the opportunity to work closely with Vice Selectman Adrian Mandeville, members of the building committee and the Town of Andover. Please review this proposal of services and our qualifications and let us know if you have any questions or need to discuss further.

Kind Regards,

Serge P. Arel

Serge P. Arel, RA
Director, Business Development
Leading Edge Construction

Todd Lessard

Todd Lessard
Owner
Leading Edge Construction

Executive Summary

Leading Edge Construction has emerged recently as a construction company that offers traditional general construction services, advisory services and design/build projects focusing on meeting the needs of owners, facilities organizations, municipalities, and companies seeking expertise that may not be available in-house or are in need of supplemental support.

We feel that this assignment is a tremendous opportunity for our team to leverage our collective experience in design, construction, and facilities management. As a result of our diverse background and experience, Leading Edge was recently awarded an assignment with the Norwich Community Development Corporation (NCDC) where we are serving as their Owner Project Manager (OPM) for the oversight of the Norwich Revitalization Program. In addition, we were awarded an On-Call PM Services contract with the Town of East Hartford to oversee planned and upcoming development and capital improvement projects. In these roles, we provide fiduciary services while delivering necessary advisory services and tactical tasks required to properly administer project oversight. These municipal assignments reflect our company philosophy and values in providing the best-in-class services for our clients. We maximize and leverage our professional relationships, market conditions, technology, innovation, and process efficiency to drive success on our assignments.

As a general contractor, we were recently engaged for preconstruction services by Enfield District 2 Fire Department for the expansion and renovations for their Fire House. The project is presently awaiting planning and zoning approval. We also completed the renovations to the Hazardville Institute Conservancy Society, also located in the Hazardville section of Enfield, CT. This historic building was saved by this organization, upgraded, and will now be used as a community space. We have experience in the construction of group homes for those with physical and mental disabilities and challenges so we are well versed in ADA requirements. We have a group home currently in construction and completed one in 2021 in East Windsor, CT.

In summary, our experience working with cities, towns, nonprofit organizations, and private businesses has prepared our team to meet the administrative requirements for the field work, fiscal management, reporting, coordination, and necessary record keeping that is often necessary for these assignments. We can prepare and maintain any/all necessary project files, status reports, schedules, field reports, correspondence including meeting minutes, inspection reports and material/labor delivery receipts for all assignments. We are very capable of interacting and communicating with all members of the project team including all town officials and project stakeholders. We have experience driving performance of service providers related to the assignment to ensure continuous progress and a successful project completion.

PegArch first began by designing homes for families in need of a better place to live. Since inception, PegArch has grown a vast portfolio of projects ranging from custom homes, new retail construction, to large mix-use development. In the commercial arena, PegArch offers Architectural services for restaurants, spas, salons, resorts, office buildings and breweries.

Every project is designed and coordinated using cutting edge Building Information Modeling (BIM) software, with downloadable and easy to use models for clients to visualize. Their range of Architectural services include everything from programming and pre-design, through Construction Administration and close-out; and everything in-between.

Scope of Work/Project Understanding

The Town of Andover is seeking to contract with a qualified design and construction team to work with that can build a New Senior Center on a town owned parcel of land located at 17 School Street. The building will be approximately 2300-2500 sf in size on the main floor. The scope of work is defined according to the following items included in the RFP or as attachments:

- A1-1 Floor Plan – prepared by Moser Pilon Architects
- A2-1 Building Elevations – prepared by Moser Pilon Architects
- Budget dated 11/11/21 – prepared by Moser Pilon Architects
- Topographic Survey – prepared by BSC Group
- Subsurface Sewage Disposal System Design – prepared by BSC Group
- Basis of Design – Attachment 2 of the RFP

These documents summarize the project scope but will need to be expanded accordingly to complete the work. The design/build team will be responsible for extending and connecting the utilities as required to the new building. These utilities include electrical, propane tank, well connection, sanitary septic and the storm sewer relocation/extension.

The work shall consist, but not limited to: selective sitework, bituminous and concrete paving, standard framing, roofing, doors and frames, kitchen mechanical connections, miscellaneous carpentry, interior finishes, electrical, mechanical and plumbing.

The design of the New Community Center shall be a basic ranch style building with functional front access to meet ADA requirements. The front entrance shall include a covered and weather protected entry. The rear entrance shall be at the basement level and requiring site grading accordingly. The building shall be designed with readily available materials in mind with limited embellished details to avoid specialty items that require custom and long lead delivery. These exterior materials will include vinyl siding and asphalt roof shingles. The main level shall consist of a large multi-use community space along with a kitchen space, toilet rooms/shower and smaller meeting areas as reflected on A1-1. The basement walkout level will be partially finished with designated additional meeting space, storage and necessary mechanical/electrical rooms.

The design and construction of the New Community Center building must conform to all current state and local codes, standards, and regulations effective on the date of this request. The design/build team will observe and comply with all laws, ordinances and regulations of the federal, state and local governments. The design/build team shall demonstrate to the Town of Andover that they have the expertise to design, build and complete the entire Community Center building according to the requirements as outlined in the RFP. The Town of Andover will rely on the expertise of the selected team to meet and exceed all minimum requirements.

Scope of Services

The Leading Edge Construction/PegArch team shall perform the following duties in support of this project.

A. Pre-Construction & Design Services Phase:

- Review existing site conditions and identify issues
- Provide budget estimates at major design phases
- Develop schedule/phasing sequence plans
- Provide value engineering as needed on building structure
- Identify and recommend options for long lead items – HVAC Equipment and Electrical Switchgear are currently long lead items due to supply chain delays
- Attend required meetings
- Provide preliminary design/build schematic architectural, plumbing, electrical, mechanical, structural and fire protection design drawings. Provide value engineering options for materials, schedules or processes.
- Work with BCS Group for any additional site planning required for any unforeseen site conditions that may arise.

B. Construction Phase:

- Develop and maintain a master schedule, safety reports and logs
- Conduct weekly project meetings with subcontractors, designers and Town of Andover representatives. Prepare and distribute meeting minutes/notes.
- Prepare and issue subcontractor bid information as required
- Produce written daily/weekly reports on project progress status and submit to Town of Andover
- Monitor cost control and issue reports, payment requisitions and lien waivers
- Obtain all applicable permits
- Issue punch list and oversee resolution

C. Project Closeout Phase:

- Provide one complete set of as-built documentation in AutoCad version 2016 or higher as well as a PDF version
- Provide a project closeout package including all manuals, warranties, etc.
- Provide a copy of all inspections, permits, affidavits, etc. within 24 hours of receipt or one working day

Bonding & Protection

Bid Bond:

Not Applicable - Bid bonds are waved for this proposal

Performance and Payment Bond:

Leading Edge Construction/PegArch will furnish a Performance and Payment Bond to the Town of Andover in the amount of 100% of the contract sum. This will be provided upon contract acceptance.

Protection of Work and Property:

Leading Edge Construction/PegArch will be responsible for the protection of their equipment and materials against theft, damage and deterioration on the site during the agreed upon time of the contract.

Statement of Qualifications

Leading Edge Construction is a family-owned firm that takes pride in the work they perform and as a result they are very selective on the projects taken on. It was founded in 2020 by owners Todd Lessard and Serge Lessard. Combined, the owners have decades of experience in residential, commercial, and industrial construction.

Despite the onset of the Covid 19 Pandemic, Leading Edge Construction has experienced tremendous growth in their project size, complexity, and value primarily because of their diverse background, experience, and company philosophy which includes a strong work ethic and exceptional values. These personal expectations and company values define their business approach and shape their project delivery methods which benefit project results, quality, and performance.

Prior to Leading Edge Construction and while employed at Cushman & Wakefield, Todd Lessard was responsible for the planning and implementation of multiple capital improvement projects for our facilities client at Collins Aerospace located in Windsor Locks, CT. Additionally, Serge P. Arel held positions at both UTC Corporate (now Raytheon) and Collins Aerospace as the account manager responsible for the oversight of the client's real estate, facilities management, and maintenance programs. In our respective roles, we were responsible for the defining the needs of our clients, developing the scope of professional services required for each project, preparing necessary RFPs, awarding contracts, tracking costs, and managing the project delivery team's performance. We have experience driving planning activities, developing, and managing project milestone schedules, preparing budgets, evaluating, and awarding bids and tracking/reporting on budget vs. actual spend at both the individual project level and the program level.

Our collective experience includes performing as owner project managers (OPM) in commercial/corporate real estate/facilities management organizations managing design and general construction services. This experience has allowed for our recent contract awards with the Norwich Community Development Corporation (NCDC) where we are overseeing the Norwich Revitalization Program and with the Town of East Hartford as Project Managers for their upcoming development and capital improvement projects.

However, Leading Edge is also a General Contractor working on diverse project types in the commercial/industrial sector, hospitality, pharma and life science markets, nonprofit organizations, and residential clients.

Leading Edge Construction Clients

- **Norwich Community Development Corporation (NCDC), Norwich, CT** – Selected to provide Construction Advisory Services for the Norwich Revitalization Program. \$4M Funding/ 50 Projects
- **Town of Enfield/Fire District #2, Enfield, CT** – Providing Pre-Construction Services while they wait for referendum approvals upon which we will construct new addition to fire house
- **Hazardville Institute Conservancy Society Inc., Enfield, CT** – Interior renovations of historical landmark named after revolutionary war Col. Augustus Hazard
- **Callaway Golf, Chicopee, MA** – Legacy client relationship dating back to our company inception providing general construction services on various interior renovations to both industrial/office space in support of their business operations. Completed approx. 12-15 projects/valued at \$2M
- **Spectrum Communications, Worcester, MA** – Regular project support work for various types and locations throughout New England
- **Heirloom Market, Wethersfield, CT** – Converted portion of the historic structure to include a new tavern/bar room integrated into Early American post & beam space. Converted greenhouse into a private/special functions space
- **Back East Brewery, Bloomfield, CT** – Renovation of the Back East Brewery, repurposing bowling alley wood to construct the tap room bar and all the Bistro style tables. Pivot separation wall to create private functions area
- **Tri-It Taproom, Avon, CT** – Converted what was once the Truffles Bakery into the first ever self-pour taproom in CT using innovative technology to deliver rotating inventory of Connecticut only based beverages
- **Torigen Pharmaceuticals, Farmington, CT** – Construction of new research/testing labs, clean room and Corporate offices for a new start up company specializing in advanced cancer care solutions for dogs
- **Oxford Performance Materials (OPM), CT** – Managed and implemented consolidation and relocation of operations
- **Pepperidge Farm, Bloomfield, CT** – On-going relationship with the facilities leadership for industrial bakery improvements and alterations
- **Allied Community Services, East Windsor, CT** – Constructed a new 5 bedroom group home for developmentally/physically challenged residents
- **Corporation for Independent Living (CIL), Tweksbury, MA** – Currently constructing a new group home for developmentally/physically challenged residents seeking independent living arrangements
- **Kaman Aerospace, Bloomfield, CT** – On-call relationship in support of building improvements and modifications

- **JRI Advisors, Inc., Farmington, CT** – Working with this client to obtain ARPA funding to improve a building façade on two adjacent buildings located on Main Street in East Hartford, CT
- **Easterseals – Capital Region & Eastern Connecticut** – On-call services for continuous building improvements and repair work
- **Griffin Health, Derby, CT** – Constructed (9) patient care areas for triage nursing staff. Work completed with Falkbuilt panels in 1 week during peak Covid care period
- **University of Hartford, Hartford, CT** – Converted underutilized space into 8 faculty offices including electrical and mechanical upgrades required
- **Kingswood Oxford, West Hartford, CT** – Converted oversized administration office into more efficiently sized offices to accommodate staff increases. Included replacement of HVAC equipment and controls
- **Eastern Connecticut State University, Willimantic, CT** – Upgrades & alterations to the campus library for a partial change in use



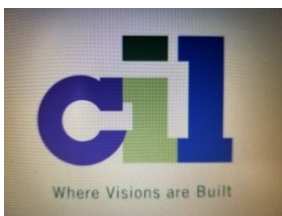
LEADING EDGE
CONSTRUCTION



KINGSWOOD
OXFORD



GRIFFIN HEALTH



Client Testimonials

“Proud to be partnered with Leading Edge making a difference in Norwich! We appreciate the teamwork!”

- **Kevin Brown, President of Norwich Community Development Corporation (NCDC)**

“Thanks for jumping on this project and completing it on time!”

- **James Fielding, Coordinator of University Construction, Eastern Connecticut State University**

“Thank you and your company for everything! It was so great that you guys came to our soft opening with such short notice! We really appreciated that. We are so pleased with how everything came out. I think it looks amazing! We are constantly getting compliments on the interior, so I never miss an opportunity to sing your praises.”

- **Michelle Norris, Owner, Tri-It Taproom**

“ Thank you thank you for your help with the flood. I have heard very great things about you and your willingness to help out! Much appreciated.”

- **Sue Boronski, Facility Planner, Callaway Golf**

“The Leading Edge team has been fantastic, I definitely look forward to opportunities to work together in the future!”

- **Mellisa Spiga, NCIDQ, IIDA, Interior Designer, CHK Architects**

“We have had nothing short of a great experience working with your team. We are excited about the prospect of partnering together on more projects in CT and potentially in MA as well.”

- **Nick Borseti, Falkbuilt New England**

“Thanks to you and Leading Edge Construction for your sponsorship of the V Foundation Event this year. It is much appreciated and this year we raised the MOST EVER for our CT-based event where more than \$40,000 went directly to the V Foundation where 100% of all proceeds go to cancer research.”

- **Scott Tibbo, Managing Director, Sireas Inc. & V Foundation Planning Committee Member**

Client & Professional References

1. Kevin Brown
President
Norwich Community Development Corporation
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2. Sue Boronski
Facility Planner
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Chicopee, MA 01013
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3. Matthew Wittmer, AIA
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4. Matthew Mucci
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5. Deb Gearty
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8. Tony Karlowicz
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1296 Blue Hills Avenue
Bloomfield, CT 06002
Email: Tony@backeastbrewing.com
Tel: (860) 214-0394

9. Gretchen Pfeifer-Hall
Board Member
Hazardville Institute Conservancy Society
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10. Tony Myers
Facilities Manager
Allied Community Services
3 Pearson Way
Enfield, CT 06082
Email : tmyers@alliedgroup.org
Tel : (860) 741-3701 Ex 241
Mobile: (860) 670-6172



Case Studies of Our Work

Norwich Community Development Corporation – Revitalization Program



Leading Edge Construction is grateful to have been selected to oversee the Norwich Revitalization Program. We look forward to working closely with the Norwich Community Development Corporation, NCDC Board, program applicants and City Agencies as we implement essential building improvements and code corrections that will increase value and quality of real estate in this community. These efforts will contribute to a commitment of revitalizing this city, which is rich in culture, history, beautiful architecture and is called the "Rose of New England".

Revitalization Program Summary YTD

Application Status	Count	Square Feet	Jobs	Estimated Cost
2. In Review	6	48,201	15	\$211,706
4a. TR Complete- Pending Applicant Action	3	14,461	16	\$1,250,000
4c. Pre-Application Design Work in Progress	16	49,669	68	\$3,800,696
6. Project Awarded	9	61,164	58	\$2,405,143
8. Project Closed - Denied	10	71,550	35.5	\$1,387,000
9. Special Project	6	442,832	117.5	\$2,850,000
New Applicant	1	1,262	6	
Grand Total	51	689,139	316	\$11,904,545

Projection Type	Cost
Quotes Submitted- Request Amount	\$5,300,849
Rough Guess	\$6,603,696
Grand Total	\$11,904,545

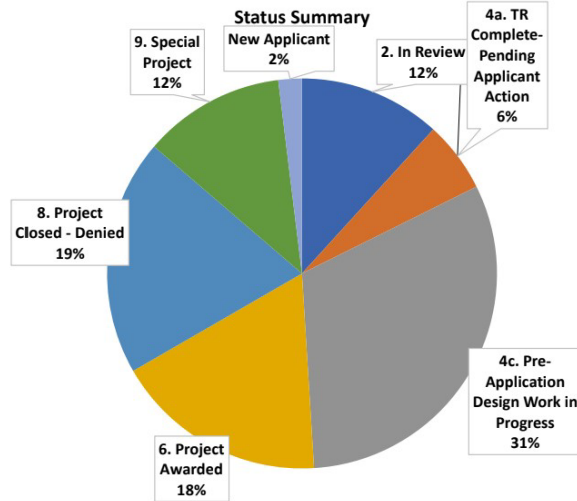
Active Program Dollars	\$3,150,000
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Funding Allocations	
Pre Application Design Funds Awarded	\$175,000
Construction Projects Awarded	\$1,202,572
Grand Total	\$1,377,572

Remaining Funding	\$1,772,428
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In Pipeline (50% of Status 2-5)	\$2,631,201
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New or Existing Business	Count
Existing	20
New	29
Grand Total	49



Enfield firm will oversee \$2 million Norwich revitalization program

Published March 28, 2022 1:54PM | Updated March 28, 2022 6:57PM

By **Claire Bessette** (/apps/pbcs.dll/personalia?ID=c.bessette) Day staff writer

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(<http://www.twitter.com/Bessettetheday>)

Norwich — The Norwich Community Development Corp. last week selected Enfield-based Leading Edge Construction to help oversee and coordinate the new \$2 million citywide economic revitalization program funded through federal COVID-19 recovery grants.

Leading Edge Construction was selected from the four firms that responded to a request for proposals to oversee the program that offers matching grants for building improvements, and to prepare vacant spaces in commercial buildings for new tenants.

Company and NCDC officials met Monday to work out a contract with fee schedules for the various services. The firm's fees will be paid through NCDC's administrative portion of the \$2 million American Rescue Plan grant from the city.

Company representatives were introduced to the NCDC board Thursday. Following the meeting, the group visited two downtown buildings being considered for the program and met with city building, zoning and fire inspectors.

"We walked away from there feeling very energized about the whole experience," said Serge Arel, director of business development and client relations for Leading Edge.

Arel said the company has not done work in Norwich but had been interested in expanding its business to the area. Company officials attended two forums on the cannabis industry recently and decided to respond to the NCDC request for proposals.

"We recognize Norwich is a city that has a lot of potential," Arel said.

NCDC President Kevin Brown said Leading Edge will assist NCDC staff with program management for the \$2 million revitalization program, provide technical assistance to grant applicants as needed, review applications and assist the selection committee in identifying applicants that meet program requirements and oversee construction of the building code corrections and renovating vacant commercial for prospective tenants.

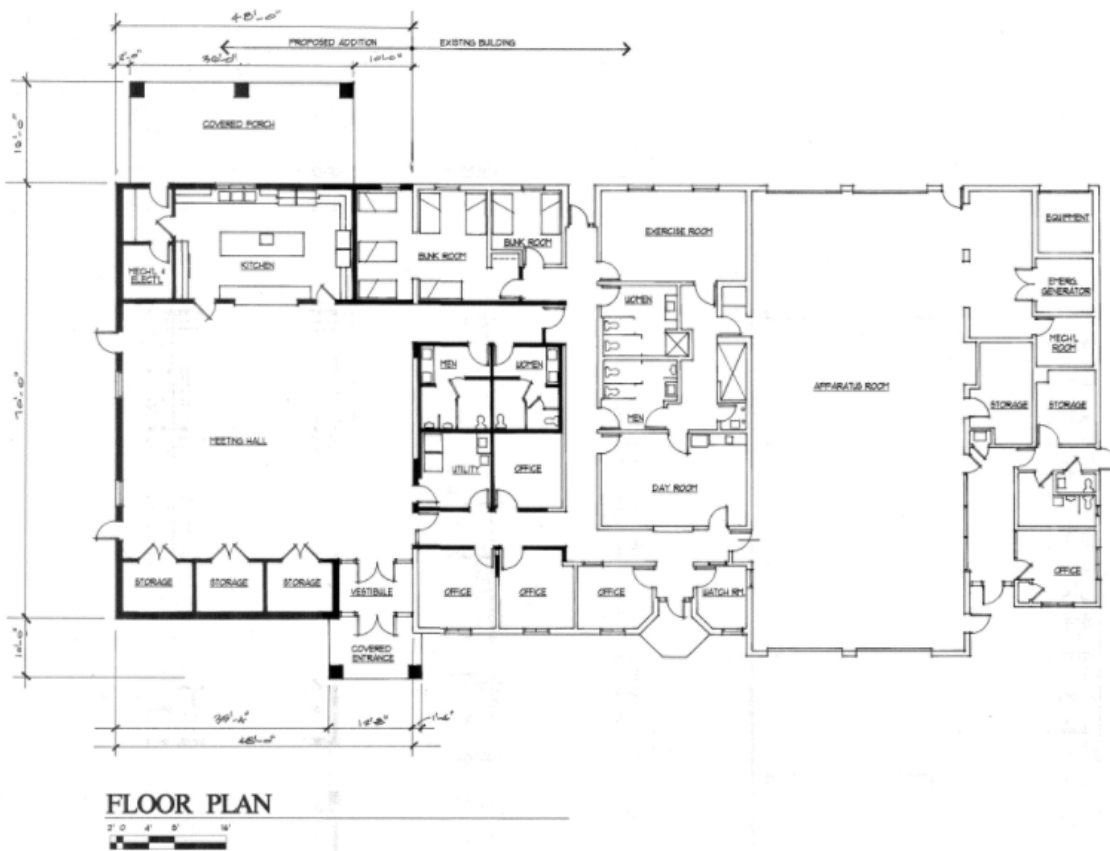
"It is fitting that this company is growing post-pandemic," Brown said. "So beyond just augmenting our capacity at NCDC to effectively and efficiently manage multiple construction activities, we are also helping a small business in post-pandemic recovery at the same time."

Leading Edge representatives will visit job sites, attend meetings and be available to assist NCDC staff as needed.

Brown said the first site visit went very well, and city officials in attendance supported the approach of having a construction management firm.

Enfield District 2 Firehouse Expansion

Leading Edge Construction was selected by the Enfield District 2 Fire Department to provide pre-construction services and construct a new addition that will provide a meeting hall/multi-purpose room along with a kitchen and toilet rooms. This new space will also be available for use by the community for public events.



THE HAZARDVILLE INSTITUTE CONSERVANCY SOCIETY, INC.



Leading Edge Construction is proud to have been selected by The Hazardville Institute Conservancy Society Inc. to act as General Contractor for the improvements to such a historic landmark as the Hazardville Institute.

In 1837, Col Augustus Hazard bought into the powder-manufacturing enterprise in the section of Enfield that would later become known as Hazardville. Hazard donated land (at the corner of Hazard Avenue and North Maple Street) for the construction of the Hazardville Institute, an Italianate-style building that was used as a meeting space by the community. It fell into disrepair in the 1970s and was saved from demolition by a group of preservationists in 1979.

Improvements to this property have been implemented in phases with the latest including upgrades to the mechanical, electrical, plumbing, HVAC and fire alarm systems, completion of toilet rooms fixtures and accessories, new interior building finishes and the completion of the rear entrance ramp making the building accessible and barrier free. When complete, this building will continue to serve the community as originally intended by Col. Hazard.



Residential Group Home - Allied Community Services

25 Phelps Road, East Windsor, CT 06088

Allied Community Services decided to reassemble the team that designed and built their last group home. Working a second time with our friends at Maier Design Group, Leading Edge Construction recently completed a new residential group home located at 25 Phelps Road in East Windsor, CT. We pride ourselves on repeat clients especially those that have such a great mission.

The mission at Allied Community Services is to “provide individuals with disabilities or other challenges the opportunity to live and enjoy a productive, independent and fulfilling life” Allied Rehabilitation Centers, Inc. - Residential Program has provided assistance to persons with developmental and physical disabilities since 1984. Our Residential Services offers a variety of Community Living Arrangements, and our belief is that persons with disabilities can live as independently as possible and have positive relationships with others living in the community. Thank you to our client for placing their trust in Leading Edge Construction and for the opportunity to contribute to such a worthy and honorable mission!



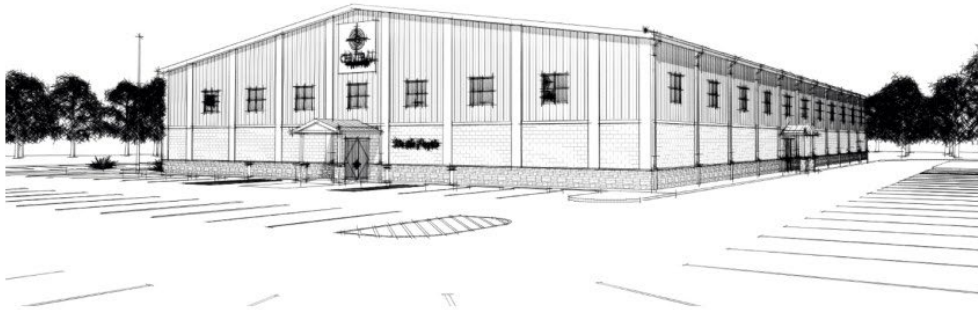
Allied Community Services

Interior Spaces

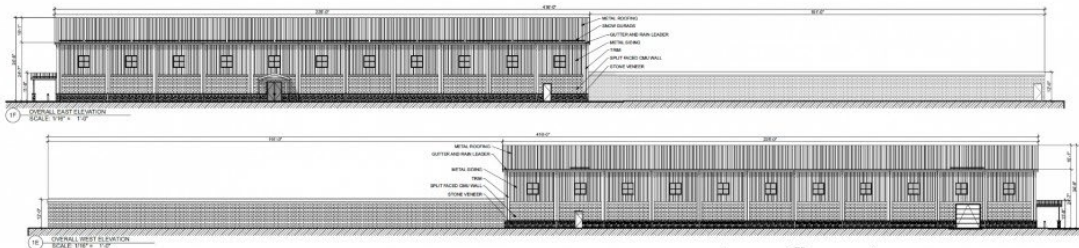


Case Studies

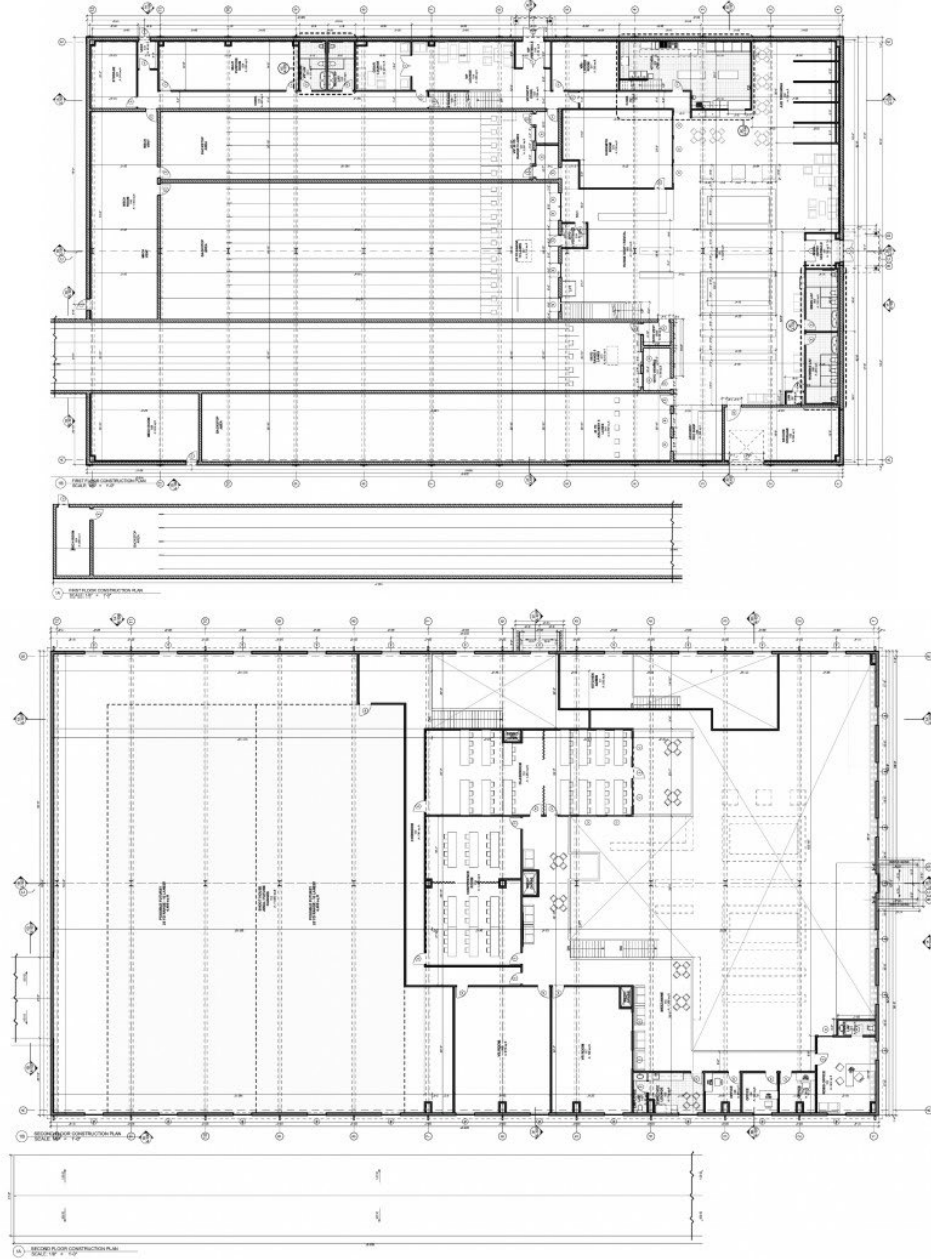
Central CT Arms, Portland CT



PegArch was selected to design a 52,000 square foot sporting facility for the growing gun shop Central Connecticut Arms located in Portland CT. This new build contains 3500 square feet of retail space, an indoor restaurant with full commercial kitchen, axe throwing, archery pro shop, machine shop, classrooms, conference rooms, Virtual reality training rooms, VIP section with multi-purpose rooms, locker rooms, and a private pistol range, a 40 yard archery range, a 100 yard rifle range, and 25 yard pistol ranges as well as a large administrative suite. This facility boasts a robust steel structure, masonry and metal facade, and lots of amenities. PegArch worked closely with the owner, town officials, state police, design consultants and the range consultants to make this project come together.



Central CT Arms, Portland CT (Continued)

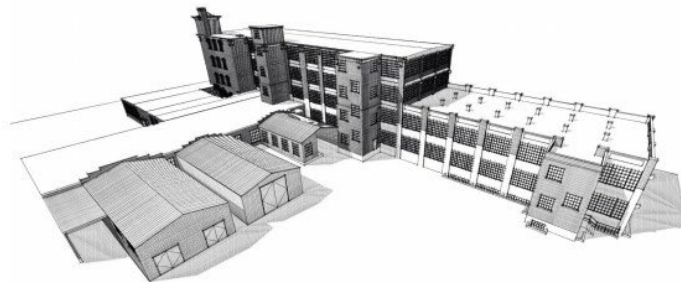


Case Studies

Parkville Industrial Revitalization

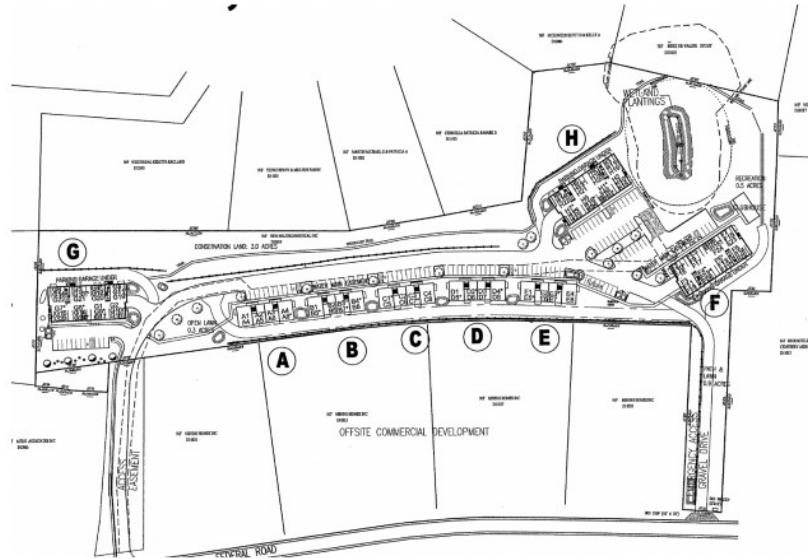


PegArch was selected for this 85,000+ square foot revitalization project in the Parkville district in Hartford for the private developer Grhusa Properties. This 4 story brick structure was an industrial factory for the majority of the 1900's and has since been vacant for a few decades. Our scope includes everything from existing conditions through Construction Documentation and CA services. The design includes a new modern entry, 100 residential units, amenity areas, rooftop gardens, and 4 large commercial spaces.



Case Studies

Brookfield Mews, Brookfield CT



PegArch was selected to provide design and construction documentation services for a large development in Brookfield CT. This development consists of 9 new buildings in total. 5 buildings contain 8 units each, 3 buildings contain 24 units above a parking garage structure, and a 1600 square foot community club house.

This project was broken out into 2 phases, with the 5 buildings getting built / designed first. PegArch is finishing up the construction documents for this first phase, and will start the second phase in spring 2023.



PEGARCH

ARCHITECTURE & DESIGN SERVICES

Case Studies

Brookfield Mews, Brookfield CT (continued)



PegArch - 236 Main St, Portland, CT 06480
860.740.5123

Andover Community Center
Andover, CT

Team Organizational Structure – Leading Edge & PegArch

The leadership team and key personnel for Leading Edge Construction are as follows:

- Todd Lessard – Leading Edge Owner & Project Manager
- Serge Lessard – Leading Edge Owner & Construction Supervision
- Serge P. Arel, RA – Leading Edge Business Development & Client Relationships
- Megan Rockwell – Leading Edge Administration & Project Assistance
- Matthew Pegolo – PegArch Partner-In-Charge, AIA, NCARB, #ARI.0013789
- Jeffrey Muncie – PegArch Project Manager, NCARB, #ARI.0012759
- Sarah Lafleur – PegArch Designer

Team Resumes/Biographies

Todd Lessard – Co-Owner/Project Execution Services



Todd Lessard is one of the owners at Leading Edge Construction and leads all project execution services. He has worked in construction for nearly 20 years in various roles and has 10 plus years as a construction project manager.

He started his career working for his Father’s drywall business during his summer breaks from school. He worked as an apprentice cleaning floors and learning the skilled trade. This experience laid the groundwork for a lifelong passion for the design and construction industry.

He expanded his experience when he took a position with a regional general contractor. He learned the business quickly and was eventually promoted to Vice President the company. In this role, he provided services to United Technologies (Raytheon) and their Collins Aerospace division located in Windsor Locks. His drive and performance were recognized by this client, leading them to offer him an opportunity to join their in-house Capital Projects team where he oversaw several complex and high-profile commercial office and industrial type projects.

In 2020 he decided to rejoin the family business by creating Leading Edge Construction with his business partner Serge Lessard. This venture affords him the opportunity to build upon his family’s legacy while delivering his expertise in commercial and industrial construction to clients throughout this region.

Serge Lessard – Co-Owner/Construction Operations



Serge Lessard emigrated from Quebec, Canada at age 18 and immediately began working in the construction industry. He has over 30 years of experience and the past 20+ years as a licensed General Contractor.

Serge specialized in residential and commercial construction, taking clients from initial conception through architectural design with a focus on integrating their long-term vision into the construction results. With a commitment to excellence, safety, tradition, and integrity, he has a long history of tailoring every project to the individual needs of his diverse clientele, bringing steadfast dedication and efficiency to every job.

Serge P. Arel, RA – Director of Business Development/Client relationships



Serge P. Arel is a registered architect, experienced planner, project manager and leader of facilities services and has been active in the Connecticut, Massachusetts, and Rhode Island markets for several years.

After graduation from the Boston Architectural College in 1990 he pursued a career working in Hartford area design firms while pursuing his professional Architectural registration in 1992. Immediately thereafter, he accepted a position as the Facilities Architect for Aetna working in all regional properties located in Hartford, Middletown, and Windsor. With the passage of ADA Legislation, he led efforts to evaluate all corporate properties for accessibility requirements and developed plans required to achieve proper accommodations for disabled employees and public spaces accessed by the community.

In 1993, he joined Connecticut National Bank and oversaw the project management of corporate facilities and real estate activities driven primarily by the bank mergers with Shawmut, Fleet and Bank of Boston. In this role he established key strategic alliance partnerships in Connecticut, Massachusetts and Rhode Island for design, construction, furniture and moving service providers.

In 1999, he joined USI and accepted a position managing the design & construction services for UTC. Over an 18-year assignment, he assembled a team of talented designers, construction project managers, furniture specialists and administrators that worked within the corporate real estate organization. This team expanded into dedicated on-site teams located at P&W and Collins Aerospace for managing facilities and capital improvements.

In 2018 he left to pursue other interests that have led him to join Leading Edge Construction as the Director of Business Development & Client Relationships.

Megan Rockwell – Office Administrator/Project Assistance



Megan Rockwell is a creative, initiative-taking and easily adaptable person. She started her work history in the visual merchandising industry gaining experience in statewide multi-store retail management where she was able to express her creativity and her critical thinking skills. In her current role with Leading Edge Construction, she is expanding her accounting, office management skills, database management, record keeping capabilities and project assistance capabilities. She continues to pursue her education with studies in the field of interior design. This provides her with added capabilities with design software, documentation, and presentation capabilities.

Office Administrator: Leading Edge Construction, LLC

March 2021 – Present

Assists in project management. Payroll processing. Human Resources duties such as Health Insurance and IRA enrollments. QuickBooks online administrator and bookkeeper. Ordering and purchasing construction materials and supplies. Attending design meetings with clients and design firms. Creating submittal documents for architectural approval. Requisitions of payment such as AIA documents and invoicing. Connecticut Notary Public

Area Visual Coordinator: Brooks Brothers, Inc

2004-2020

Area visual merchandiser for the 200-year-old luxury retailer. In charge of all visual displays including windows and interiors of multiple CT locations. Training store staffs on company visual directives. Managing staffs and visual assistants in multiple locations. Creating brand appropriate selling environments. Analyzing product placements, sales data and merchandising techniques to guide sell through of the product. Participated in new store openings across the country.

Visual Manager: Jcrew

2001-2004

Maintaining the aesthetic and appearance of the Farmington Jcrew store location. Plan and execute floor plans. Manage and train other associates in merchandising.

Education:

- Master of Art in Education, Quinnipiac University, 2009
- Bachelor of Arts in Literature, Central Connecticut State University, 2007
- Online Studies in Interior Design, Rhode Island School of Design, Presently Attending

Matthew Pegolo, AIA, NCARB - Partner - #ARI.0013789



Matthew Pegolo is an industry respected leader who loves to help others in his community. He is an educator, mentor, and local sponsor to charities and sports. He is a commissioner for the Portland Housing Authority and active in the local community. He has been engaged in the Architectural industry for 18+ years. After working for many locally respected firms, Matthew started PegArch to help those in need. His hands-on approach, attention to detail, and advanced BIM software puts him and his company above the competition. At previous employers, Mr.

Pegolo worked on municipal and public projects throughout the Northeast, including Brattleboro Fire Station, Brattleboro Police Station, Hamden Police Station, Northwest Connecticut Community College Joyner Hall, JM Wright Technical High School, Xavier High School, and other larger projects.

Education:

Master of Architecture - Roger Williams University

Bachelor of Science in Architecture - Roger Williams University

Professional History:

Partner - PegArch LLC - Portland CT

Program Manager - Arcadis/O&G/C&R - Hartford CT

Architectural Designer - Northeast Collaborative Architects - Middletown CT

Project Manager - 3Point Design Associates - Little Compton RI

Jeffrey Munsie, NCARB - Project Manager - #ARI.0012759



Jeffrey Munsie has been a licensed architect in CT for over 9 years and working in the Architectural industry for 25+ years. He has a passion for great design and is very detail oriented. He collaborates well with all stakeholders of each project he manages.

Education:

Bachelor of Architecture - Wentworth Institute of Technology, Boston MA

Professional History:

Architect - Fellner Architects - East Haddam CT

Architect - Mitchell Studio - New Haven CT

Project Architect - Crosskey Architects - Hartford CT

Sarah Lafleur, Architectural Designer



Sarah Lafleur has been with PegArch for over two years and has worked on residential and commercial projects throughout Connecticut. She has managed projects from pre-design through construction drawings. Prior to PegArch, Sarah worked at Electric Boat for design services for their training centers on the submarine base in New London.

Education:

Bachelor of Architecture in Architecture - Roger Williams University

Professional History:

Architectural Designer - PegArch Architecture - Portland CT

Electric Boat Program Design Intern - Electric Boat - New London CT

Design/Build Team Experience

- ✓ Have you ever failed to complete any work awarded to you? If so, where and why? **No**
- ✓ Have you ever defaulted on a contract? If so, where, and why? **No**
- ✓ Is there any pending litigation which could affect your organization's ability to fulfil this agreement? If so, please describe. **No**
- ✓ Has your firm been named in a lawsuit related to errors and omissions within the past five years? If yes, provide details. **No**
- ✓ During the past seven years, has your firm or any of its principals ever filed for protection under the Federal bankruptcy laws? If yes, provide details. **No**
- ✓ Are there any other factors or information that could affect your firm's ability to provide the services being sought about which the Town of Andover should be aware? **No**

Insurance

Leading Edge Construction, LLC/PegArch Design/Build Team agree to maintain in force at all times during which services are performed with the following coverages in place with companies licensed by the State of Connecticut.

A. Commercial General Liability Insurance

Leading Edge Construction, LLC and PegArch shall carry Commercial General Liability Insurance (broad form coverage) insuring against claims for bodily injury, property damage, personal injury and advertising injury that shall be no less comprehensive and no more restrictive than the coverage provided by Insurance Services Office (ISO) form for Commercial General (CG 0001 04/2013). By its terms or appropriate endorsements such insurance shall include the following coverage, to wit: Bodily Injury, Property Damage, Fire Legal Liability (not less than the replacement value of the portion of the premises occupied), Personal & Advertising Injury, Blanket Contractual, Independent Contractor's, Premises Operations, Products and Completed Operations (for a minimum of two (2) years following Final Completion of the Project). Any deviations from the standard unendorsed form will be noted on the Certificate of Insurance.

- Each Occurrence: \$1,000,000
- Damage to Rented Premises (Each Occurrence): \$100,000
- Personal and Advertising Injury: \$1,000,000
- General Aggregate: \$2,000,000
- Products-Completed Operations Aggregate: \$2,000,000

B. Worker's Compensation Insurance

Leading Edge Construction, LLC and PegArch shall provide Statutory Workers' Compensation Insurance as required by the State of Connecticut, including Employer's Liability.

- Coverage A – Statutory
- Coverage B – Employer's Liability
- Each Accident: \$500,000
- Disease – Each Employee: \$500,000
- Disease – Policy Limit: \$500,000

C. Commercial Automobile Liability

Leading Edge Construction, LLC and PegArch shall carry Commercial Automobile Liability Insurance insuring against claims for bodily injury and property damage and covering the ownership, maintenance or use of any auto or all owned/leased and non-owned and hired vehicles used in the performance of the Work, both on and off the Project Site, including loading and unloading. The coverage should be provided by Insurance Services Office form for Commercial Auto Coverage (CACA000110/2013) or equivalent. "Auto" (symbol 1 or equivalent) is required. Any deviations from the standard unendorsed form will be noted on the Certificate of Insurance.

- Combined Single Limit: \$1,000,000

D. Umbrella Liability

The Town of Andover reserves the right to require Leading Edge Construction, LLC to carry an umbrella liability insurance policy of \$5,000,000. The necessity and amount of umbrella liability insurance is dependent upon a number of factors including, but not limited to scope, price and duration of the work to be performed. The Town of Andover will inform Leading Edge Construction, LLC as to the necessity and limits for this insurance as soon as practicable and has sole discretion of the limits to be required.

- Each Occurrence: \$5,000,000
- Aggregate: \$5,000,000

E. Additional Insured & Certificates of Insurance

The Town of Andover shall be named as "Additional Insured". Coverage is to be provided on a primary, noncontributory basis. In addition to the coverage delineated above, Builder's Risk Insurance is required for this construction contract. Original and completed Certificates of Insurance will be presented to the Town of Andover Purchasing Agent prior to a purchase order/contract issuance. Vendor agrees to provide replacement/renewal certificates at least 60 days prior to the expiration of the policy.

Warranty/Guaranty

All work provided by Leading Edge Construction, LLC, PegArch and all subcontractors performing work shall warranty/guaranty all materials supplied and workmanship furnished for the construction of the New Community Center shall be free of from original defects or against injury from proper and usual wear when used for intended purposes. The warranty/guaranty shall be for (1) one year after the date of acceptance by the Town of Andover. Where warranties are provided by the supplier and/or the manufacturer for a longer period, those terms shall apply from the date of the date of acceptance by the Town of Andover.

Tax Exemption Status

The Town of Andover is exempt from the payment of federal excise taxes and Connecticut sales tax and use taxes. Such taxes must not be included in prices. The Town of Andover will provide Leading Edge Construction a copy of their tax-exempt certificate if they are awarded the contract.

Bid Proposal Requirements and Deliverables

- Floor Plans & Elevations – by PegArch
- Typical Wall Section – by PegArch
- Site Plan – As provided by BCS Group
- Cost Estimate – by Leading Edge
- Project Schedule – by Leading Edge
- Outline Specifications – Included in design package by PegArch

Contract/Bid Proposal

Leading Edge Construction/PegArch design/build team agree to entering into an AIA Document A141 Standard Form Agreement Between Owner and Design-Builder, 2014 edition or currently available format.

BID PROPOSAL FORM – PAGE 1

TOWN OF ANDOVER, CONNECTICUT
NEW COMMUNITY CENTER BUILDING
17 School Rd

Pursuant to and in full compliance with the RFP, the undersigned certifies this proposal is submitted without collusion and all responses are true and accurate. If awarded this proposal, it is agreed this will form a contractual obligation to provide services at fees specified in this Proposal Form, subject to and in accordance with all instructions, conditions, requirements contained in the documents, including addenda, which are made part of this proposal.

Please Provide the following minimum Breakdown of Pricing:

Existing Conditions/Design/Permitting \$ 35,000.00 _____
Site work \$ 128,550.00 _____
Septic connections \$ 17,000.00 _____
Utilities gas and Electrical \$ 13,500.00 _____
Foundations, Slab, Ramps, \$ 53,257.00 _____
Paving and Curbing \$ 76,223.00 _____
Structure \$ 97,375 _____
Plumbing, Heating, & Ventilation \$ 65,000.00 _____
Electrical \$ 40,500 _____
Alarms/ IT \$ 2,500.00 _____
Finishes, All Other Items, Close-out \$ 255,092.00 _____

TOTAL Base Bid: \$ 783,997.00 _____

BID PROPOSAL FORM - PAGE 2

ALLOWANCES

Included in the Bid Proposal are the following Allowances: Septic design, site plan
If awarded this Contract, we will execute a Contract with the Town of Andover, Owner of the property. Form of contract anticipated is AIA Document A141, "Standard Form of Agreement Between Owner and Design-Builder", 2014 edition.

CONTRACT TIME

If awarded the Contract, the undersigned agrees that the work will commence upon formalization of a Contract with the Owner, and shall be Substantially Complete within _____ Three Hundred an Sixty Five ___ (_365_) calendar days
(Number of Days, in words)

Completion of Work: It is agreed that time is of the essence for this project. The Design-Build Team hereby agrees, upon award of a contract with the Owner, to commence, prosecute and substantially complete the work in accordance with the project completion time as stipulated within this Bid Proposal Form.

ADDENDA

The undersigned hereby certifies that he is able to furnish labor that can work in harmony with all other elements of labor employed or to be employed on this project. The Bid includes Addenda listed below and they are hereby acknowledged:
Addendum # CRO_Small Business and Minority Set Aside: **20%**

PROJECT CONDITIONS

Design-Build Team herein agrees that it has been afforded the opportunity to inspect the project site and perform tests. The Design-Build Team is satisfied with the Project site and conditions based upon such inspection. Design-Build Team represents that it has visited the Project Site, become familiar with local conditions.

BID PROPOSAL FORM - PAGE 3

under which this Work is to be performed and correlated personal observations with the requirements of Request for Proposal. It is further understood that no additional compensation will be allowed by the Town of Andover by reason of any difficulties which the Design-Build Team could have discovered or reasonably anticipated, prior to submittal of its bid proposal.

DELIVERABLES

In addition to this Bid Proposal Form and Bid Bond, all requested deliverables as outlined within the "Request for Proposals" have been fully prepared and made part of this submission package.

COMPANY NAME: Leading Edge Construction, LLC
ADDRESS: 9 Moody Road, Unit 12C, Enfield, CT 06082

BY *Todd Lessard* DATE: 11/16/22

(authorized signature, officer of bidder's company)

Todd Lessard

(above name, typewritten)

TITLE: Owner

TELEPHONE #: (860) 803-9416

EMAIL ADDRESS: Todd@le-con.com

Schedule of Values

Division 01 – General Conditions	\$93,958.00
Division 02 – Site Construction	\$333,458.00
Division 02 – Concrete	\$53,257.00
Division 07 – Thermal and Moisture Protection	\$69,738.00
Division 08 – Doors and Windows	\$37,799.00
Division 09 – Finishes	\$70,414.00
Division 12 – Furnishings	\$2,725.00
Division 15 – Mechanical / Plumbing	\$70,850.00
Division 16 – Electrical	\$51,230.00
Total	\$783,997.00

Allowances:

Water Heater - \$3,000

Plumbing Fixtures - \$3,500

Lighting Fixtures - \$5,000

ADD Alternate – Basement Finishing - \$167,105.00

ADD Alternate – Pergola - \$12,500.00

Excludes – Material Price escalation, Winter Condition, Unknown of unforeseen conditions, Hazardous Material testing or handling, utility charges and fees, Permit fees of all kinds, Acts of god.

Project Schedule

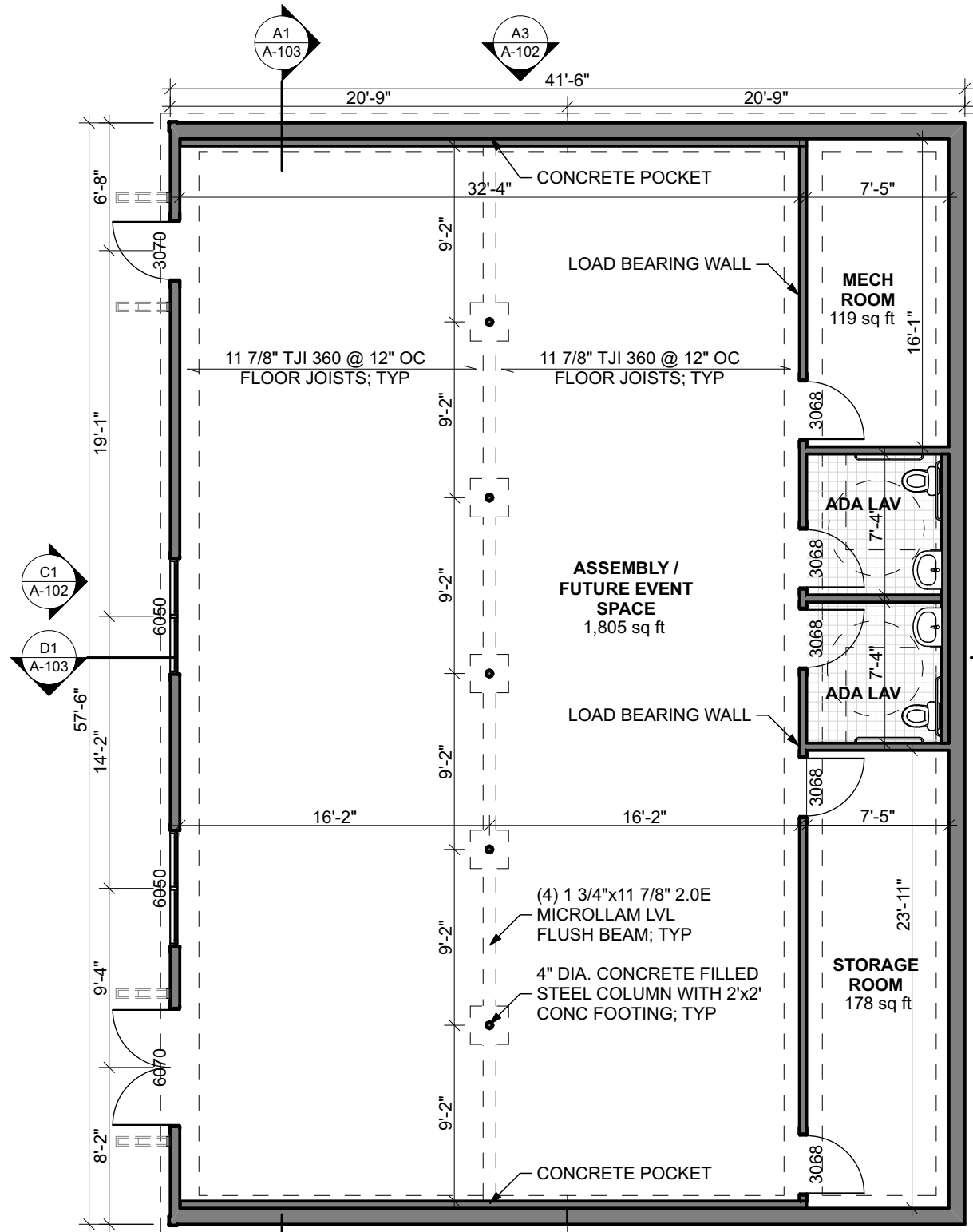
Description	Date
Contract Signed	1/1/23
Design Development / Permitting	1/1/23
Construction Documents	2/24/23
Start Construction	3/1/23
Rough Site work / Weather tight shell completed	5/1/23
Rough Inspection	6/1/23
Start Finishes	6/2/23
Start Furnishing	8/1/23
Substantial Completion	9/1/23
Final Completion/Occupancy	9/15/23
Complete Paving and Planting	9/30/23



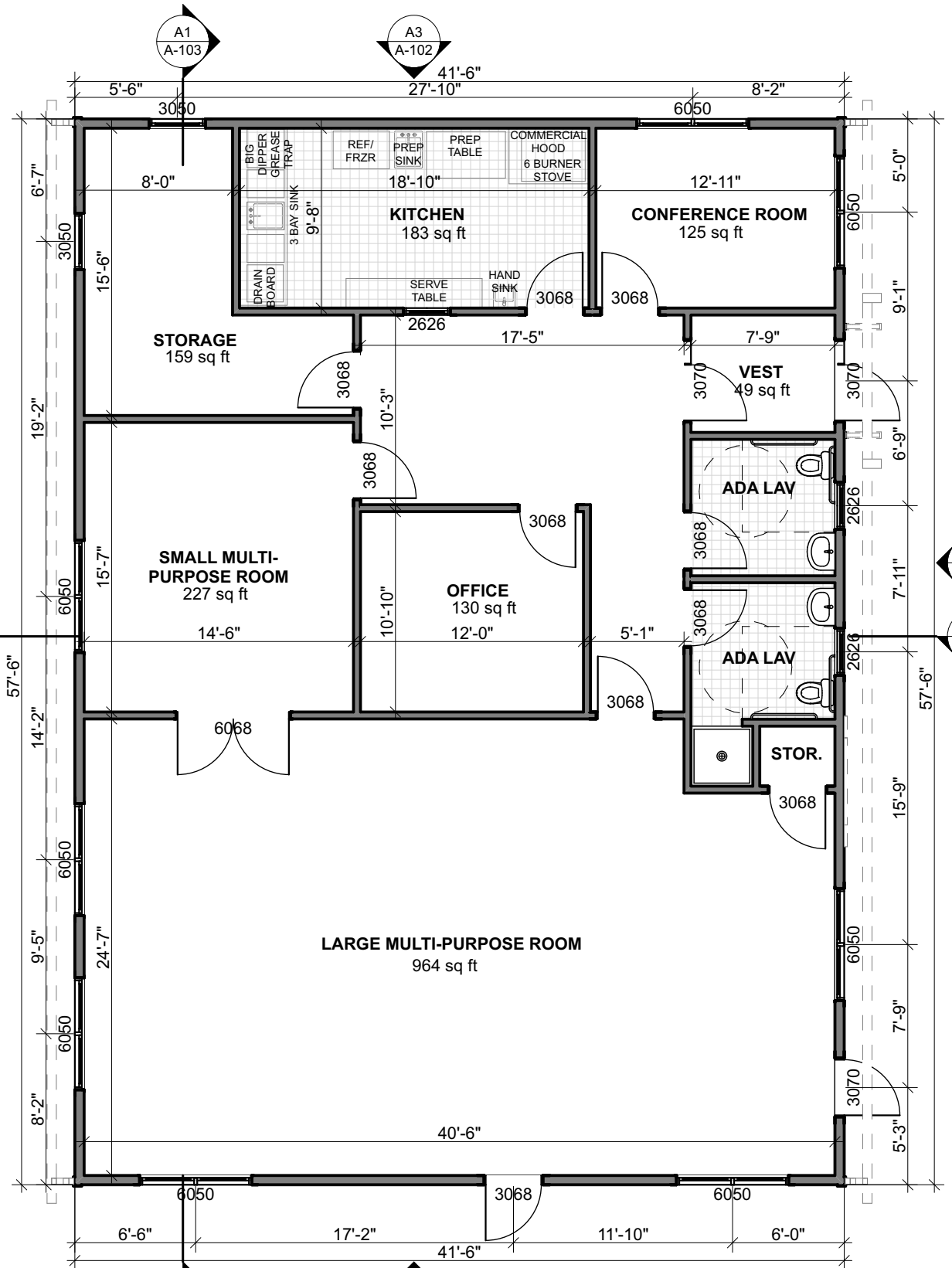
LEGEND & ABBREVIATIONS

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<p>PREPARED FOR: TOWN OF ANDOVER 17 SCHOOL ROAD ANDOVER, CT 06022</p> <p>BSC GROUP 633 Windling Brook Drive Glenbury, Connecticut 06033 860.633.8227</p> <p>SCALE: 1" = 20' 0 20 40 80 0 20 40 80 FEET METERS</p> <p>FILE # 14301001/SURVEY/PLANIMS DRAW REPORT PROCESS SHEET 1 OF 1 JOB NO. 13391100</p>	<p>ANDOVER TOWN OFFICES 17 SCHOOL ROAD ANDOVER, CONNECTICUT</p> <p>December 2021</p> <p>DESIGNED BY: NO. DATE DESIGNED BY</p>	<p>MICHAEL G. HEALEY P.E. S. 07/20/17 DATE</p> <p>TOPOGRAFICAL SURVEY</p> <p>ANDOVER COMMUNITY CENTER</p>
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A1 BASEMENT DESIGN PLAN
SCALE: 1/8" = 1'-0"

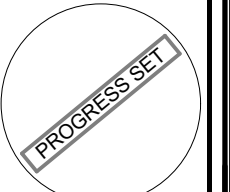


A3 FIRST FLOOR DESIGN PLAN
SCALE: 1/8" = 1'-0"



New Construction
 Andover Community Center
 17 School Road
 Andover, CT 06232

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SHEET NAME
PRELIMINARY DESIGN DRAWINGS

SHEET ID
A-100

30 YEAR ARCHITECTURAL ASPHALT SHINGLES

WHITE GUTTER AND RAIN LEADER

HORIZONTAL VINYL SIDING

VINYL OR PVC TRIM

CONCRETE FOUNDATION WALL

30 YEAR ARCHITECTURAL ASPHALT SHINGLES

COVERED ENTRY

HORIZONTAL VINYL SIDING

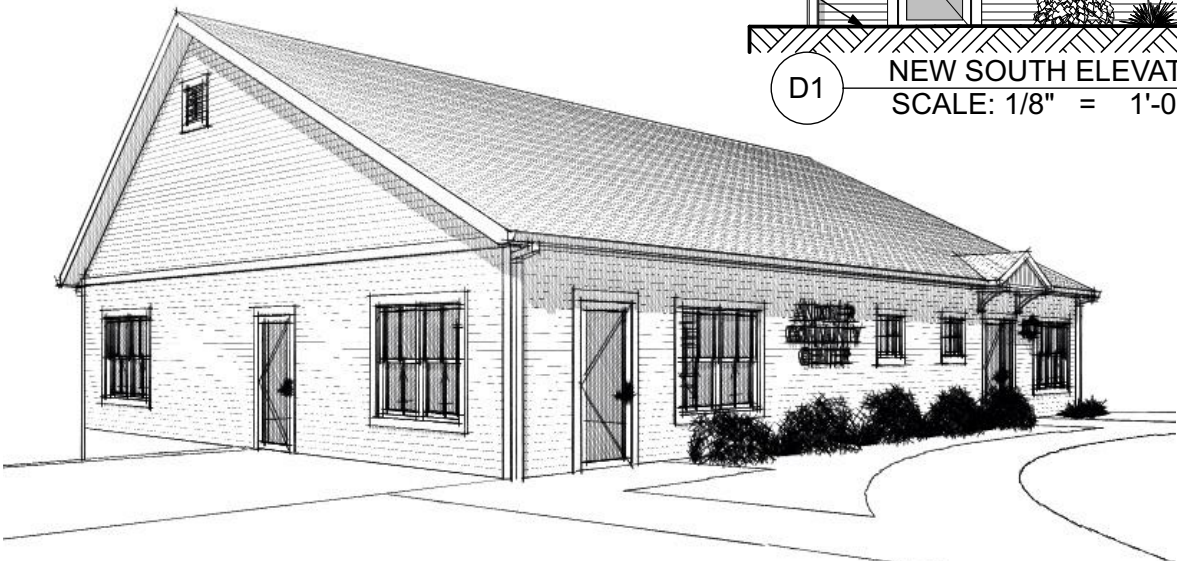
WHITE GUTTER AND RAIN LEADER

VINYL OR PVC TRIM

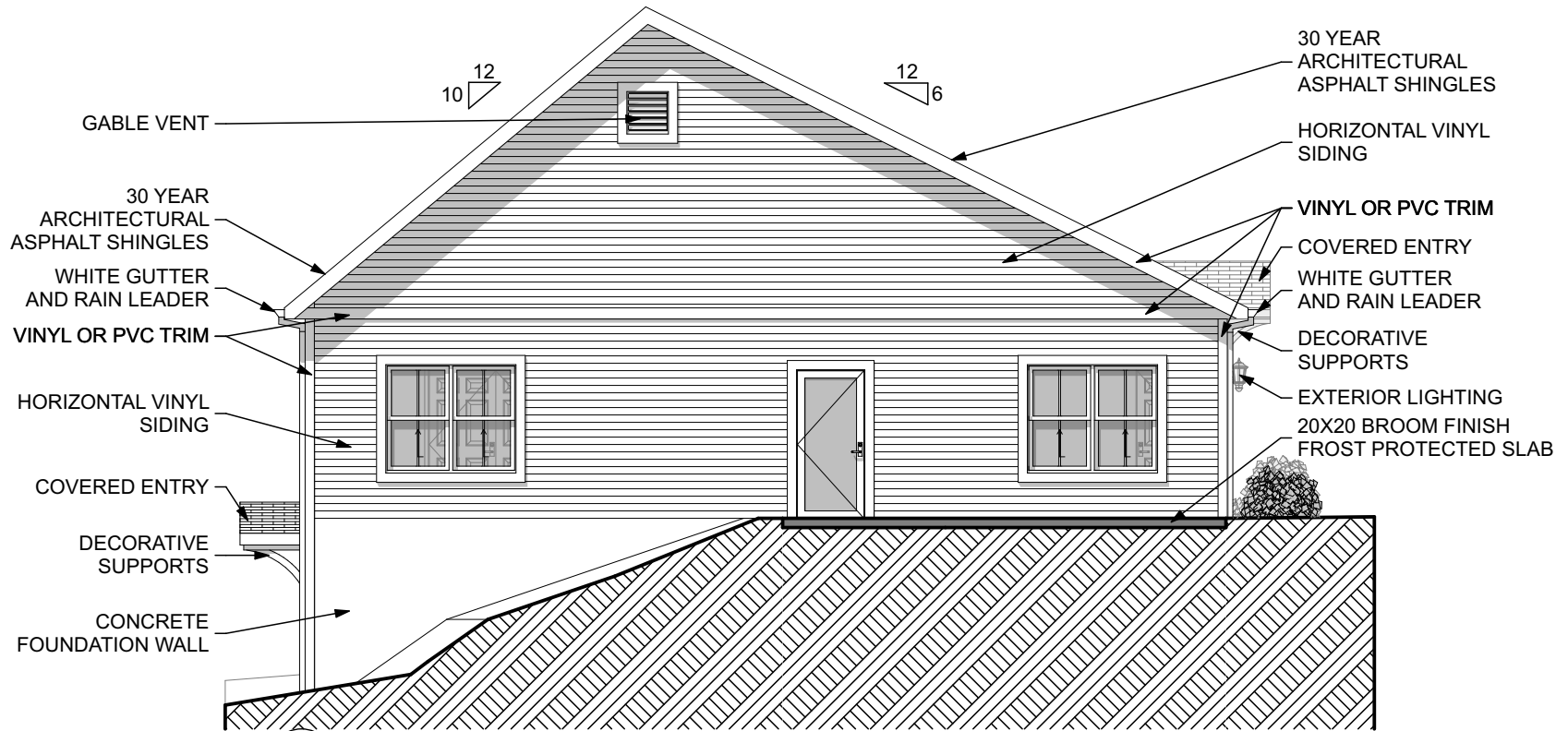
DECORATIVE SUPPORTS

EXTERIOR LIGHTING

CONCRETE FOUNDATION WALL



D1 NEW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



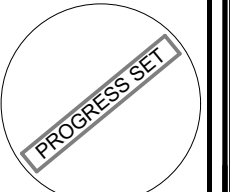
A2 NEW WEST ELEVATION
SCALE: 1/8" = 1'-0"

PEGARCH
ARCHITECTURE & DESIGN SERVICES
236 MAIN ST PORTLAND, CT 06480
860.740.5123
PEGARCH.COM



New Construction
Andover Community Center
17 School Road
Andover, CT 06232

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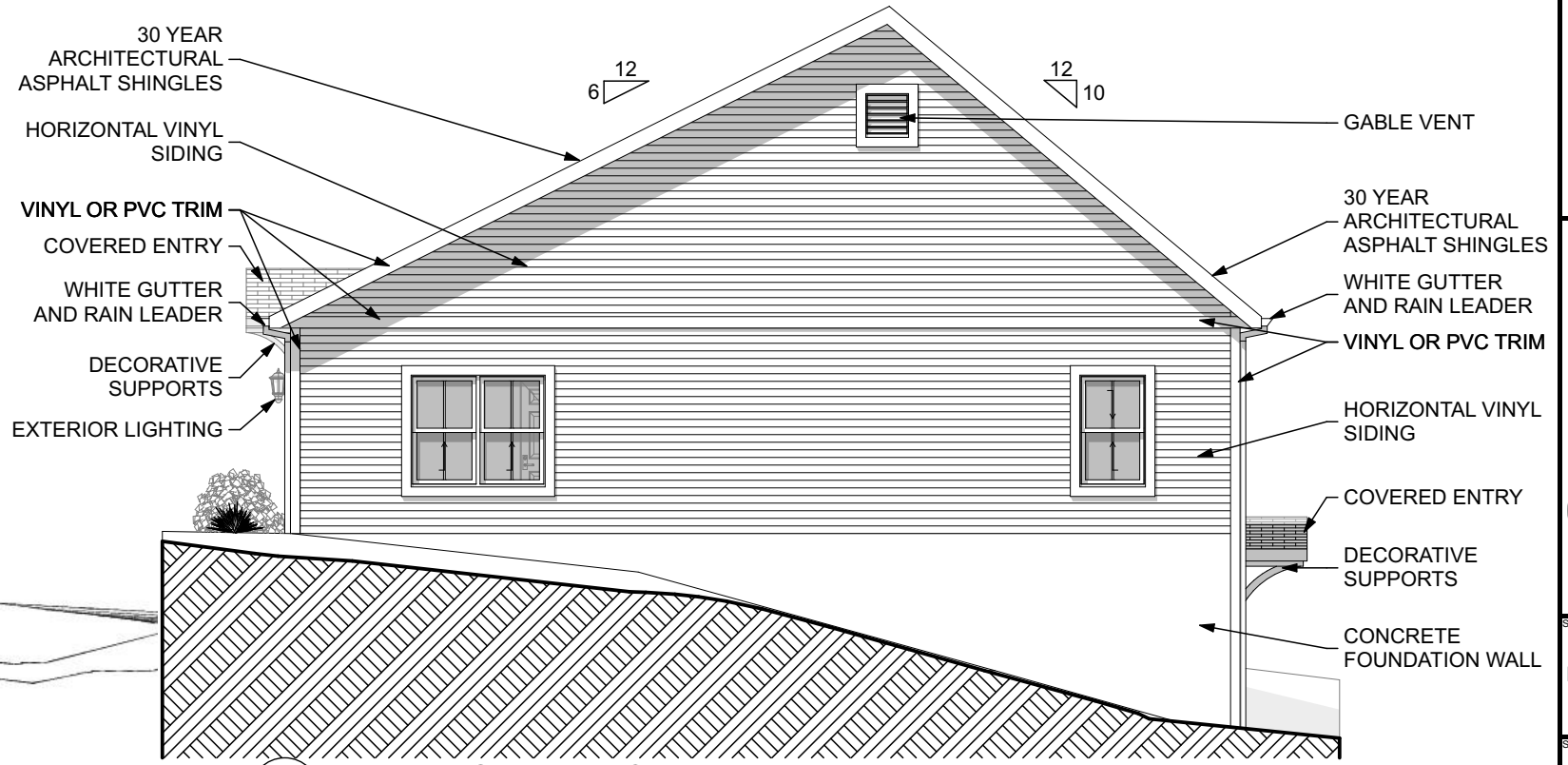
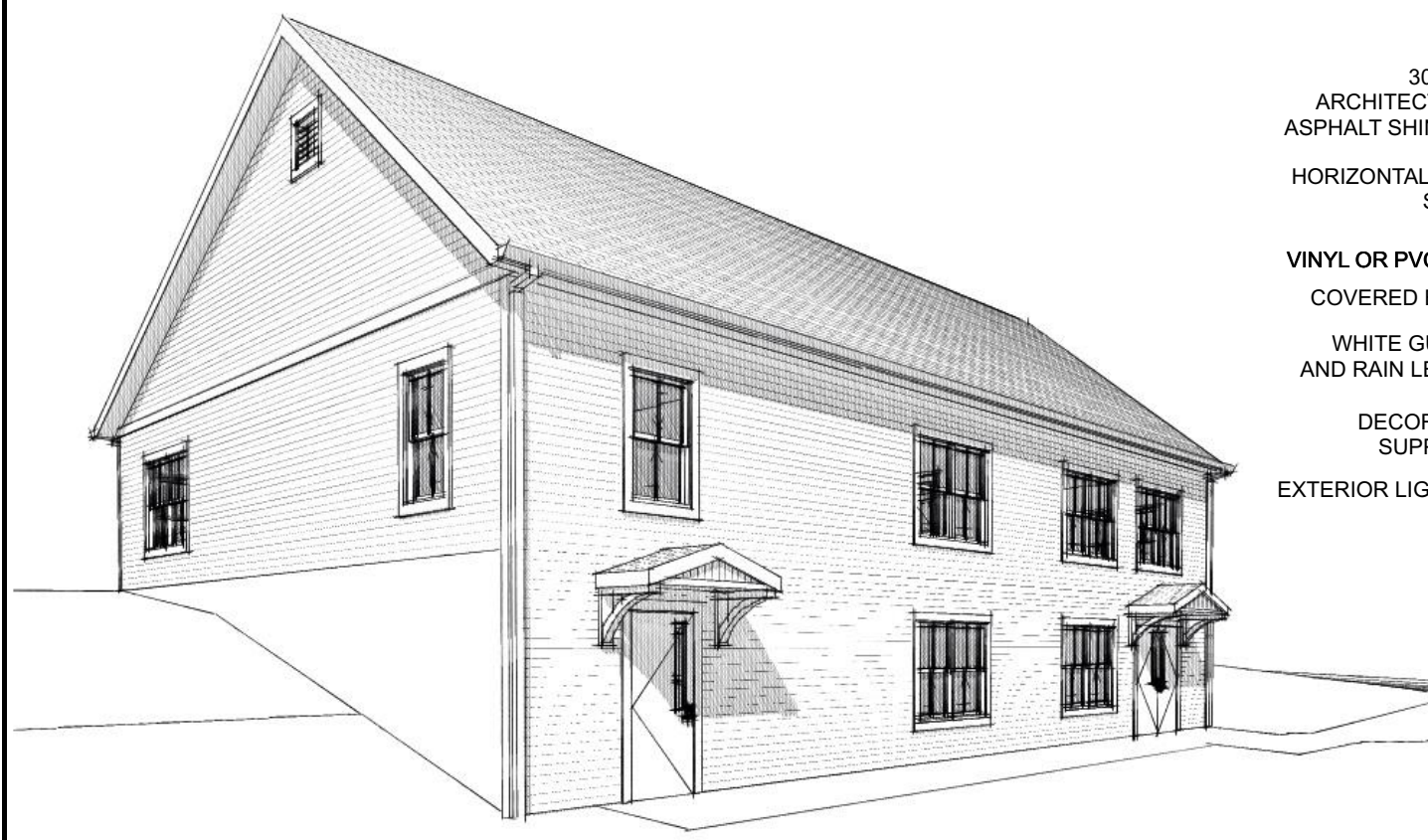


SHEET NAME
PRELIMINARY
DESIGN DRAWINGS

SHEET ID
A-101



C1 NEW NORTH ELEVATION
SCALE: 1/8" = 1'-0"

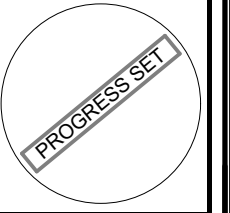


A3 NEW EAST ELEVATION
SCALE: 1/8" = 1'-0"



New Construction
Andover Community Center
17 School Road
Andover, CT 06232

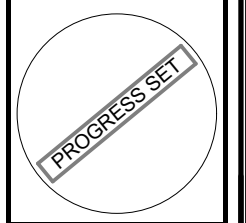
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SHEET NAME
PRELIMINARY
DESIGN DRAWINGS

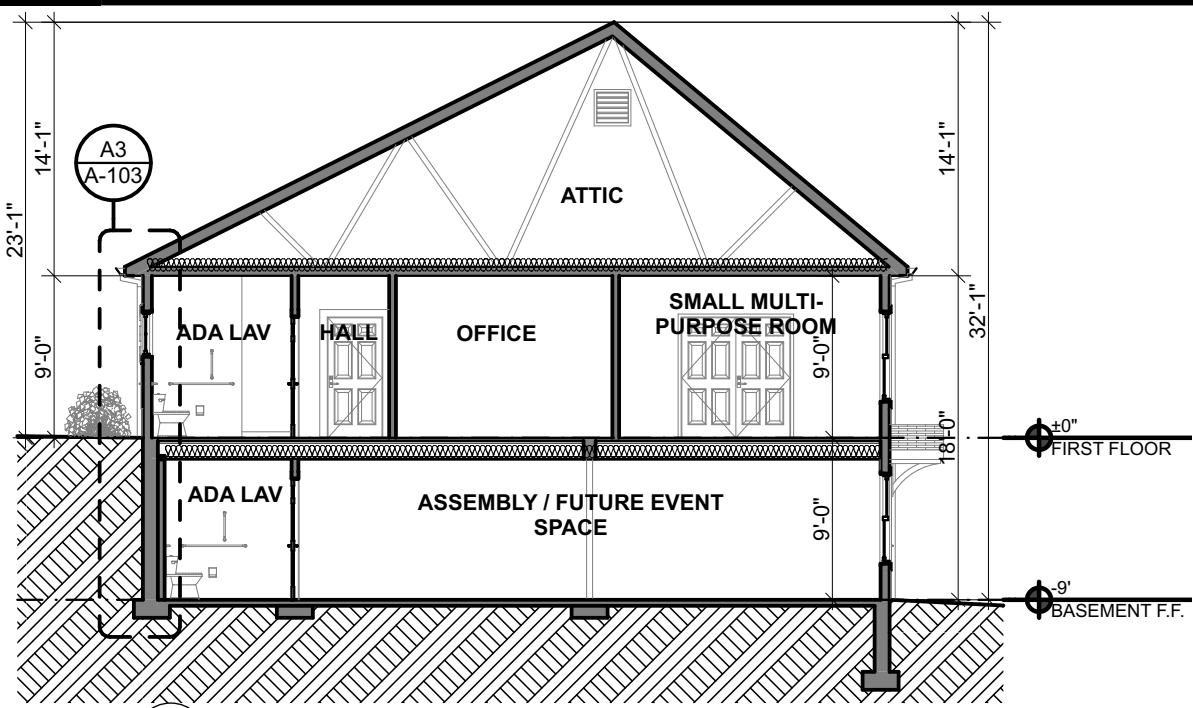
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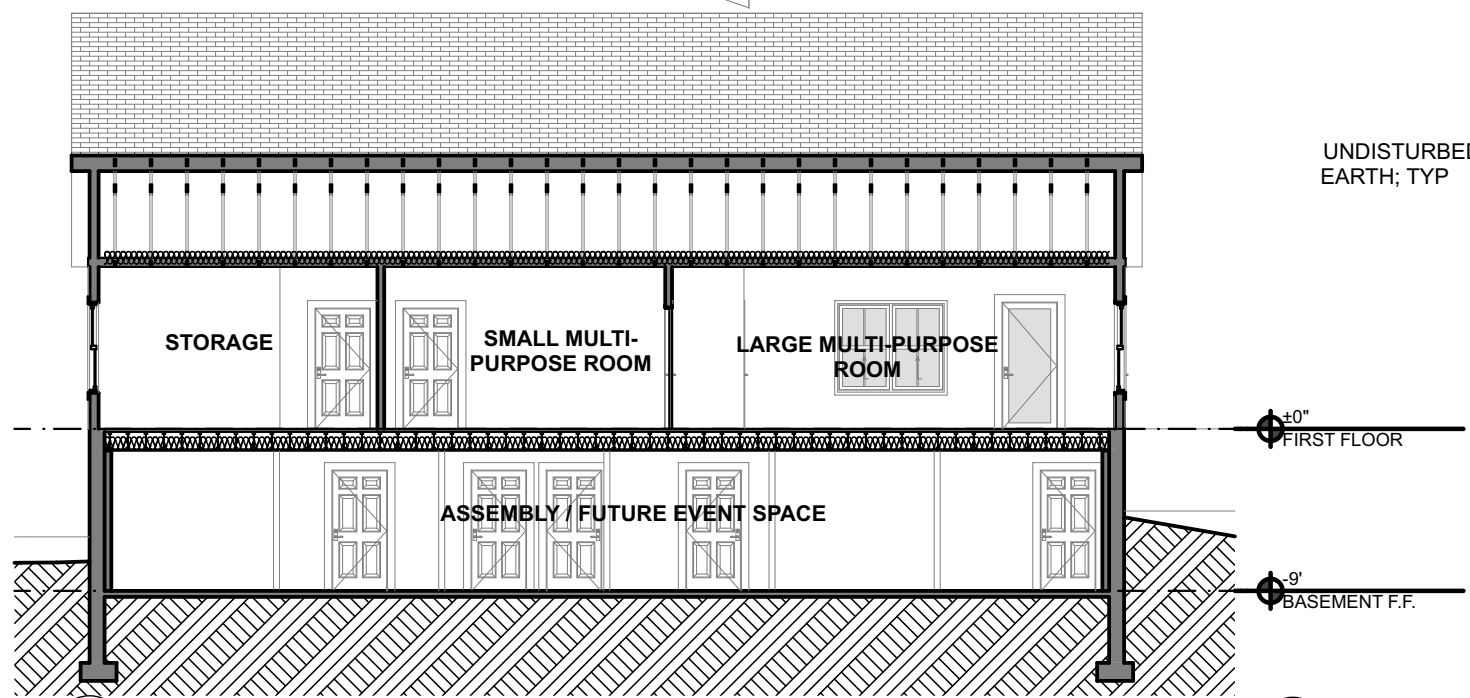
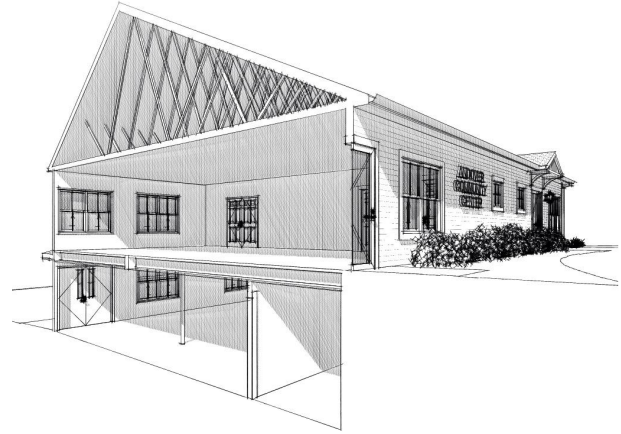


SHEET NAME
 PRELIMINARY DESIGN DRAWINGS

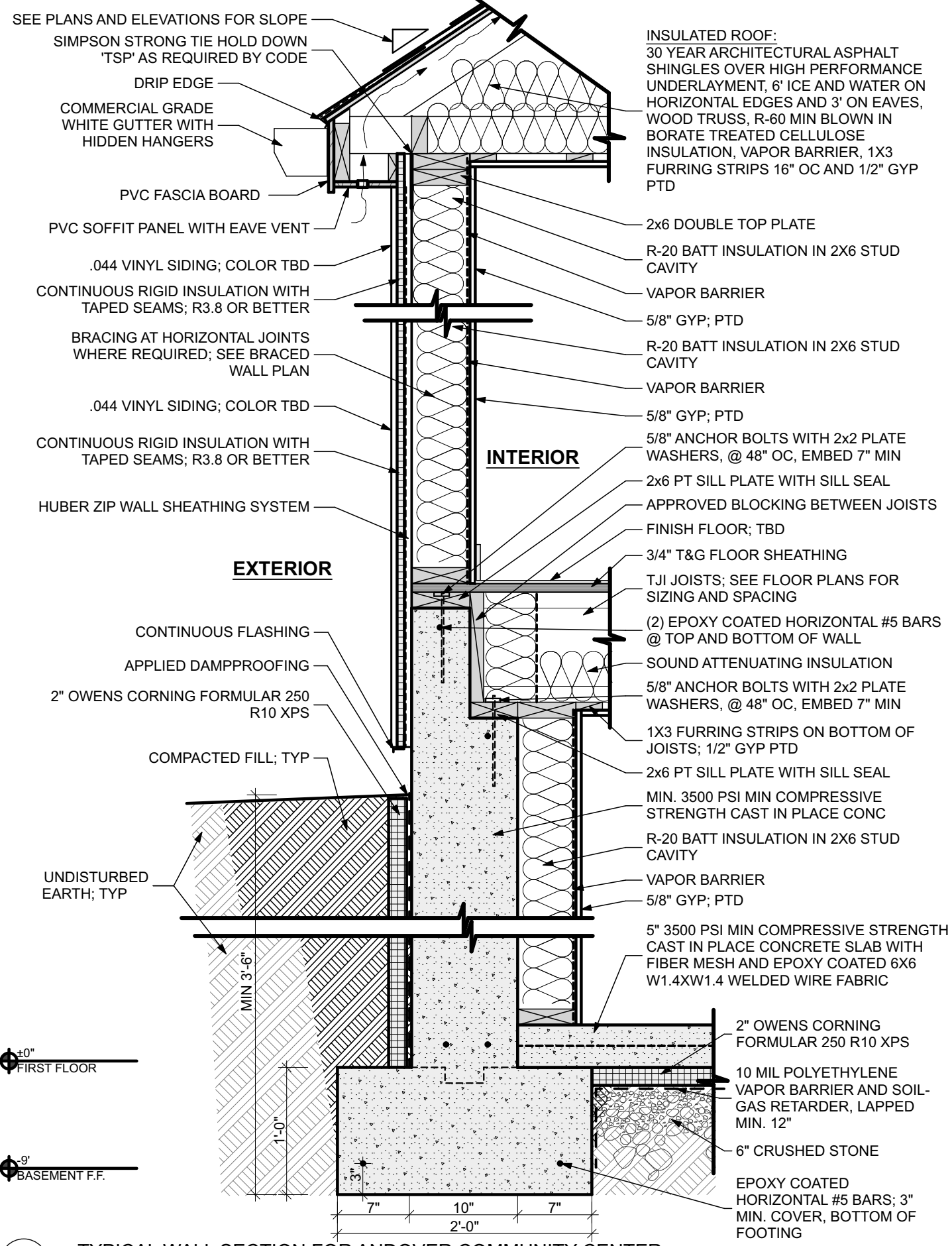
SHEET ID
A-103



D1
 SECTION
 SCALE: 3/32" = 1'-0"



A1
 SECTION
 SCALE: 3/32" = 1'-0"



A3
 TYPICAL WALL SECTION FOR ANDOVER COMMUNITY CENTER
 SCALE: 1" = 1'-0"